



LETTER OF TRANSMITTAL

TO:	Town of Hope Mills
	5770 Rockfish Rd.
	Hope Mills, NC 28348
Attn:	Randy Beeman

DATE:	February 13, 2008	
PROJECT NO:	03228-0004	TASK NO:
RE:	Hope Mills Dam	
TRANSMITTAL NO:		PAGE 1 OF 1

WE ARE SENDING: Originals Prints Shop Drawings Samples
 Specifications Calculations Other - _____

Quantity	Drawing No.	Rev.	Description	Status
6			Copies of Change Order 02	H

Issue Status Code: A. Preliminary B. Fabrication Only C. For Information D. Bid
 E. Construction F. For Review & Comments G. For Approval H. See Remarks

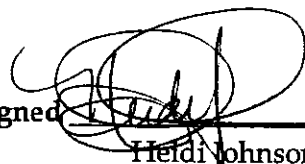
Action Status Code: 1. No Exceptions Taken 2. Make Corrections Noted 3. Other
 4. Amend & Resubmit 5. Rejected - See Remarks

REMARKS: If acceptable, please sign, date, and return 3 copies (minimum) or additional copies if you
 Need more than 1 executed copy. We will forward them to Crowder for final signatures and return
 Executed copies to you. Please call Don Hancock at (910) 323-3400 if you have any questions.

104 Gillespie Street, Fayetteville, NC 28302 Tel: (910) 323-3400 Fax: (910) 323-1028

cc:

McKIM & CREED, PA

Signed 
 Heidi Johnson

Change Order

No. ~~01~~ ⁰²
SW

Date of Issuance: February 5, 2008 Effective Date: February 5, 2008

Project: Hope Mills Dam Repair	Owner: Town of Hope Mills	Owner's Contract No.: N/A
Contract: Same As Above		Date of Contract: May 8, 2007
Contractor: Crowder Construction Company		Engineer's Project No.: 03228-0001

The Contract Documents are modified as follows upon execution of this Change Order:

Description: See attached Change Order Request (Proposal) No. 2 dated February 4, 2008

Attachments: (List documents supporting change):

- 1.) Proposal letter from Crowder Construction Company dated February 4, 2008
- 2.) Preliminary details and drawings for the proposed pedestrian bridge
- 3.) Attached drawing A for the grading and sand beach on the west side of the lake
- 4.) Attached drawing B with photo for the repairs to the existing boat ramp

Note: The cut off wall modifications and replacing the micro piles with H piles previously authorized are also incorporated in this change order (no cost or time change associated)

CHANGE IN CONTRACT PRICE:		CHANGE IN CONTRACT TIMES:	
Original Contract Price:		Original Contract Times: <input type="checkbox"/> Working days <input checked="" type="checkbox"/> Calendar days	
\$10,037,590.00		Substantial completion (days or date): 430	
		Ready for final payment (days or date): 460	
[Decrease] from previously approved Change Orders No. <u>1</u>		[Increase] [Decrease] from previously approved Change Orders No. <u>N/A</u> to No. <u>N/A</u> :	
-\$99,725.00		Substantial completion (days): 0	
		Ready for final payment (days): 0	
Contract Price prior to this Change Order:		Contract Times prior to this Change Order:	
\$9,937,865.00		Substantial completion (days or date): 430	
		Ready for final payment (days or date): 460	
[Decrease] of this Change Order:		[Increase] [Decrease] of this Change Order:	
-\$41,865.00		Substantial completion (days or date): 0	
		Ready for final payment (days or date): 0	
Contract Price incorporating this Change Order:		Contract Times with all approved Change Orders:	
\$9,896,000.00		Substantial completion (days or date): 430	
		Ready for final payment (days or date): 460	

RECOMMENDED: *[Signature]* ACCEPTED: _____ ACCEPTED: _____
 By: _____ By: _____ By: _____
 Engineer (Authorized Signature) Owner (Authorized Signature) Contractor (Authorized Signature)

Date: 2/13/08 Date: _____ Date: _____

Approved by Funding Agency (if applicable): _____ Date: _____

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CHANGE ORDER REQUEST (PROPOSAL)

Project: Hope Mills Dam Repair

Change Order Request Number: 02

To: Don Hancock

From (Contractor): Crowder Construction Company

Date: 02/04/08

A/E Project Number: 03228-0001

Re: Contract Conversion from Unit Price to Lump Sum

Contract For: Town of Hope Mills

This Change Order Request (C.O.R.) contains an itemized quotation for changes in the Contract Sum or Contract Time in response to proposed modifications to the Contract Documents based on Proposal Request No. CCC - 02.

Description of Proposed Change:

Conversion of the Contract from Unit Price to Lump Sum Amount. See Attached Proposal.

Attached supporting information from: Subcontractor Supplier Prime Contractor

Reason For Change:
See Attached Proposal

Does Proposed Change involve a change in Contract Sum? No Yes [Increase] [Decrease] \$ -41,865
Does Proposed Change involve a change in Contract Time? No Yes [Increase] [Decrease] days.

Attached pages: Proposal Worksheet Summary: See Attached Letter.
 Proposal Worksheet Detail(s): See Letter Attachments.

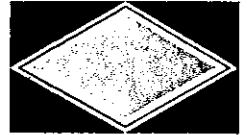
Signed by: Ken Tysinger  Date: 2/4/08 2/04/08

Copies: Owner Consultants File





CROWDER CONSTRUCTION COMPANY
— Building a Legacy Since 1947 —



February 4, 2008

Mr. Gordon Rose, P. E.
McKim and Creed, P. A.
104 Gillespie Street
Fayetteville, NC 28301

Reference: Hope Mills Dam Repair

Dear Gordon:

Per our earlier and most recent discussions relating to the Hope Mills project, I would like to offer the following for consideration by McKim & Creed and the Town of Hope Mills.

The project is now about 35% complete. As you know we have had to work closely together to make changes to the project to help move it forward and control cost for the Town as a final result. The unit price contract was used due to the many unknowns and the complex nature of the project itself. We recognize the importance of controlling cost over runs for the Town of Hope Mills; therefore, I suggest, as discussed with you earlier, we consider changing the project to a Lump Sum contract.

I feel this will accomplish three things for all of us as Partners in the project.

1. First and probably most important to the Town, it will place responsibility for controlling costs on the contractor. By changing to a Lump Sum contract, the Town will have a guaranteed price thereby eliminating the risk of over running their budget.
2. There are tremendous accounting and administrative costs associated with the time and effort being spent daily by Crowder to measure and keep up with the quantities. A Lump Sum contract will allow time and money to be spent more productively.
3. I believe it will increase our chances to win the Partnering Award, which is one of our project goals. The award is presented to the Owner, the Engineer and the Contractor based on several criteria including: a partnering relationship developed to the benefit of the Owner, completion of a project below budget and within established schedule, added value provided.

At your suggestion I have had our folks review the quantities to date and the projected quantities to completion. Based on the history of cost over runs and under runs on the project, I am comfortable with the following approach.

Mailing Address:
Post Office Box 30292
Charlotte, NC 28230-0292

(704) 332-8184
FAX (704) 372-9946
www.crowdercc.com

Shipping Address:
1123 East 10th Street
Charlotte, NC 28204

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Considering all the changes we have made on the project and a review of all quantities I suggest we convert the project to a Lump Sum in the amount of \$ 9,896,000.00.

As an added value to the project, we have included the following:

1. Addition of a Connector Standard Truss pedestrian bridge with wood decking that will be constructed parallel with the existing vehicular bridge located on Lakeview Road. The bridge width will be six (6) feet with a one hundred thirty one (131) feet span. This bridge will be founded on the abutment end walls. We have also included the addition of six (6) foot sidewalks on the east and west sides of the proposed pedestrian bridge. We have included all costs for engineering associated with the pedestrian bridge. See attached renderings. Added value \$185,000.
2. Removal of existing deteriorated retaining wall and placement of earth fill to establish grade. Re-nourishment of the sand beach area located within the public beach access on the west bank of Hope Mills Lake. We exclude all engineering and permitting costs associated with this work. See Attachment "A". Added value \$50,000.
3. Remove and replace 32 feet of existing concrete at the public boat access ramp. Install a 200 CY compacted earth fill with 6" stone sub-base below the concrete slab. Furnish and install Class II Rip Rap on the north and south face of the earthen fill adjacent to the boat ramp. We exclude all engineering and permitting costs associated with this work. See Attachment "B". Added value \$30,000.
4. We have included an allowance for pedestrian bridge lighting. We exclude all engineering costs associated with the pedestrian bridge lighting. Added value \$18,000.

Crowder believes this approach will remove the risk of the project going over budget, it will maintain motivation to complete the project on schedule, it will simplify the bookkeeping on the remainder of the project and, most importantly to Crowder, it will put us in a great position to win the Partnering Award.

Please consider this approach and let me know as soon as possible your thoughts, as we will need to make some changes in the concrete and rebar design to carry the loads of the Pedestrian Bridge.

Crowder Construction Company and I personally value the relationship that has been developed with the Town of Hope Mills and with McKim & Creed. I look forward to continuing that relationship for many years to come.

Sincerely,



Dane Hoffrell
Sr. Vice President
Crowder Construction Company

Pedestrian Steel Truss Bridges

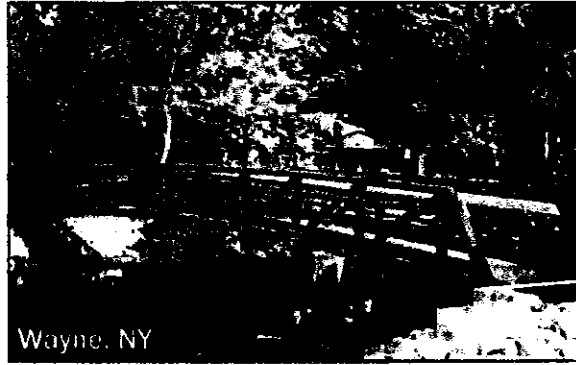
Since 1972, Continental® has been one of North America's premier brands for pedestrian steel truss bridges for pedestrian applications. With more than 11,000 installations worldwide, Continental pedestrian truss bridges are ideal for skywalks, parks and trails, golf courses, environmental, and residential applications.

Continental® bridges offer:

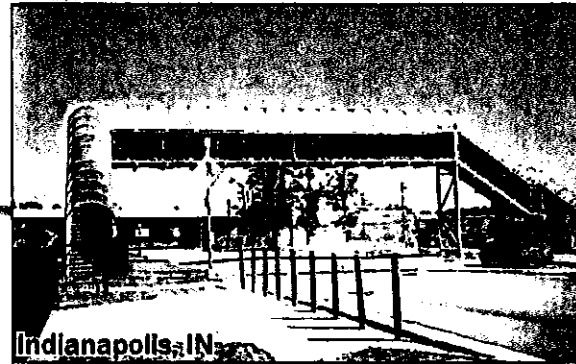
- Clear spans up to 250 feet and more
- Pedestrian crossings over highways, railroad tracks, rivers and wetlands
- Rapid installation
- Aesthetic solutions
- A variety of decking, rail and finish options
- Extensive technical support
- AISC Major Bridge Certified
- Fracture Critical and Sophisticated Paint Coating Endorsements.



Stanford, CA



Wayne, NY



Indianapolis, IN



Pony Truss

Henderson, NV

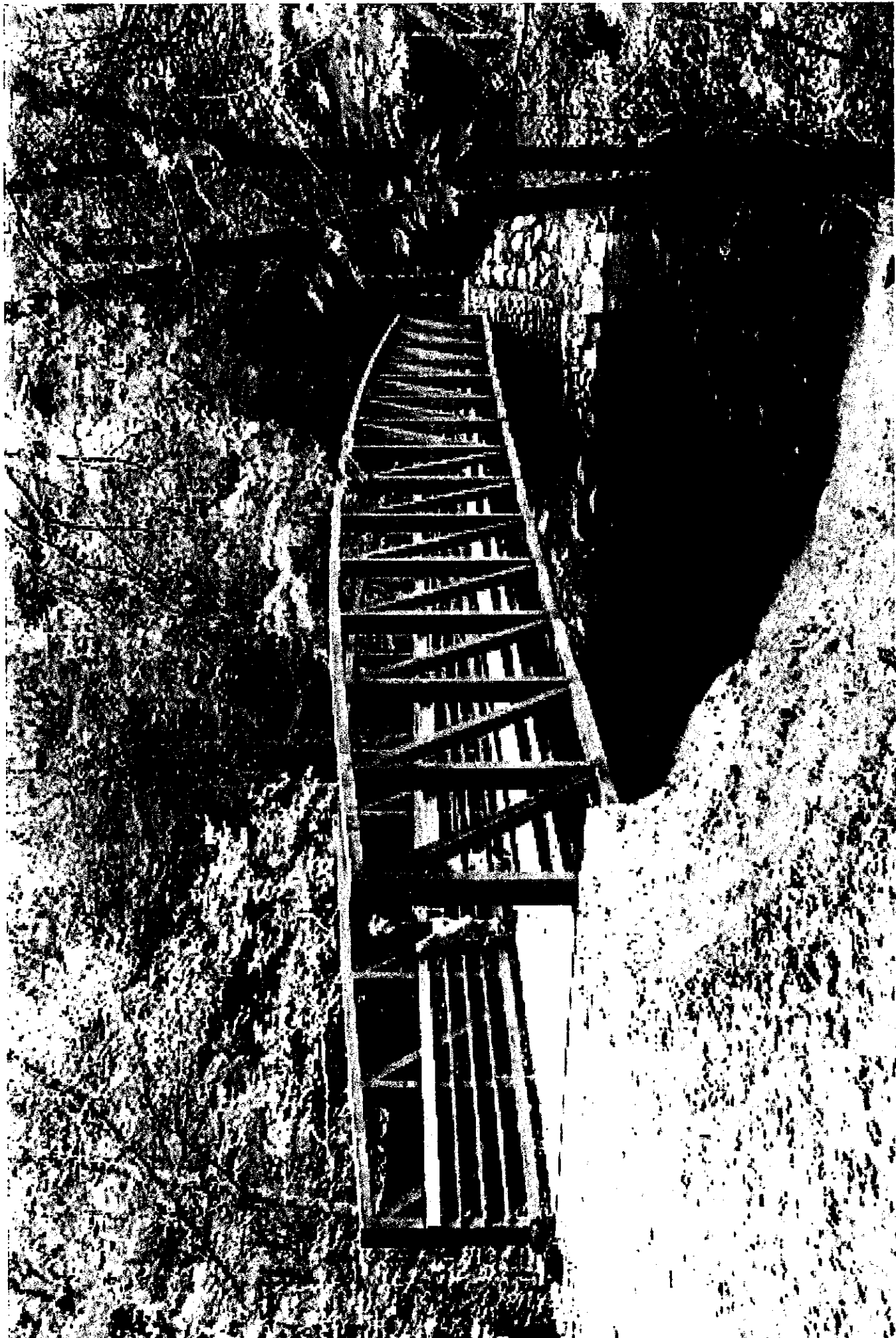
Custom Bridge Enhancements

Both Continental® and Steadfast bridges can be custom painted, galvanized, spray zinc coated, or delivered with a weathering steel finish.

Attractive custom railing and integrated lighting are often a way to successfully add a signature look to your new bridge. Our experienced team will work with you to include the unique elements that will give the structure added eye appeal.

- Covered Walkways
- Iron Wood Decking
- Chain Link Fencing
- Integrated Lighting
- Stainless Steel Railings
- Concrete Decking
- Custom Railing
- Custom Mesh Panels

**Pedestrian • Parks & Recreation • Golf Course • Overpass
• Skywalks • Pipe Support • Trails**



FOR REFERENCE ONLY

NOTES

GENERAL NOTES:

1. This bridge has been designed for general use. It is not intended for use as a structure for the storage of materials or for the storage of materials in the vicinity of the bridge. It is not intended for use as a structure for the storage of materials in the vicinity of the bridge. It is not intended for use as a structure for the storage of materials in the vicinity of the bridge.
2. Prior to construction, contractor must verify all dimensions shown through the engineer.
3. Only Certified Bridge, a CONESTOGA COMPANY, may provide the structure designed in accordance with these plans.
4. The use of another structure with the design contemplated here for the Conestoga Company structure may be made at the discretion of the user of any other structure. The user of any other structure must obtain the necessary permits and approvals from the appropriate authorities. The user of any other structure must obtain the necessary permits and approvals from the appropriate authorities. The user of any other structure must obtain the necessary permits and approvals from the appropriate authorities.
5. Alternative structures may be considered, provided that they meet the same design criteria (load conditions) as the structure shown on these plans. Any alternative structure must be approved by the engineer prior to construction.

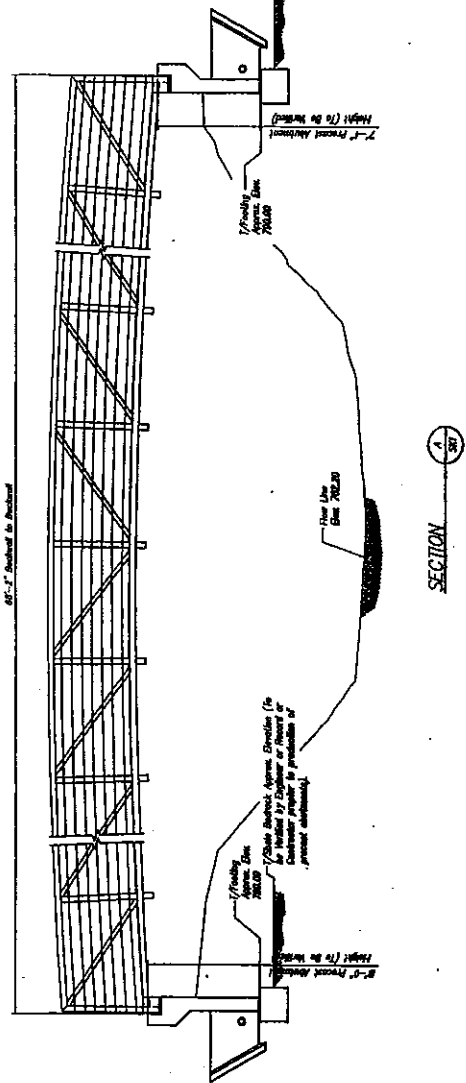
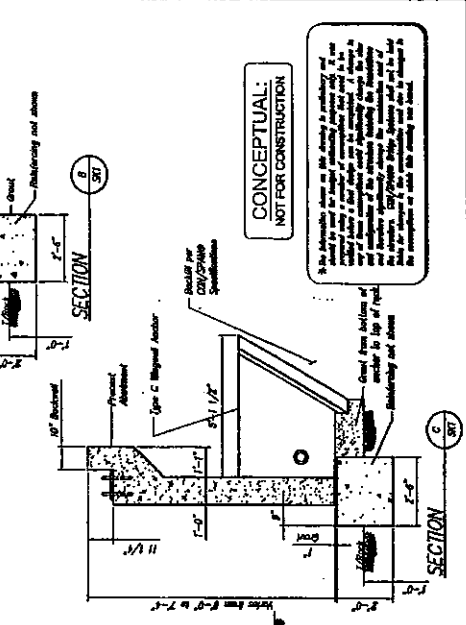
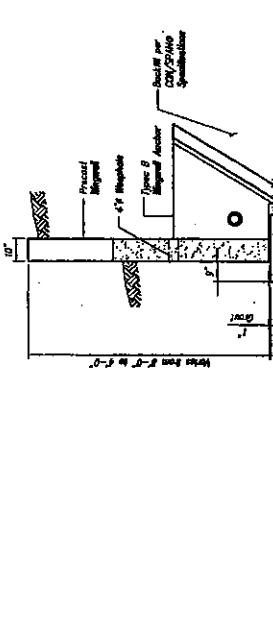
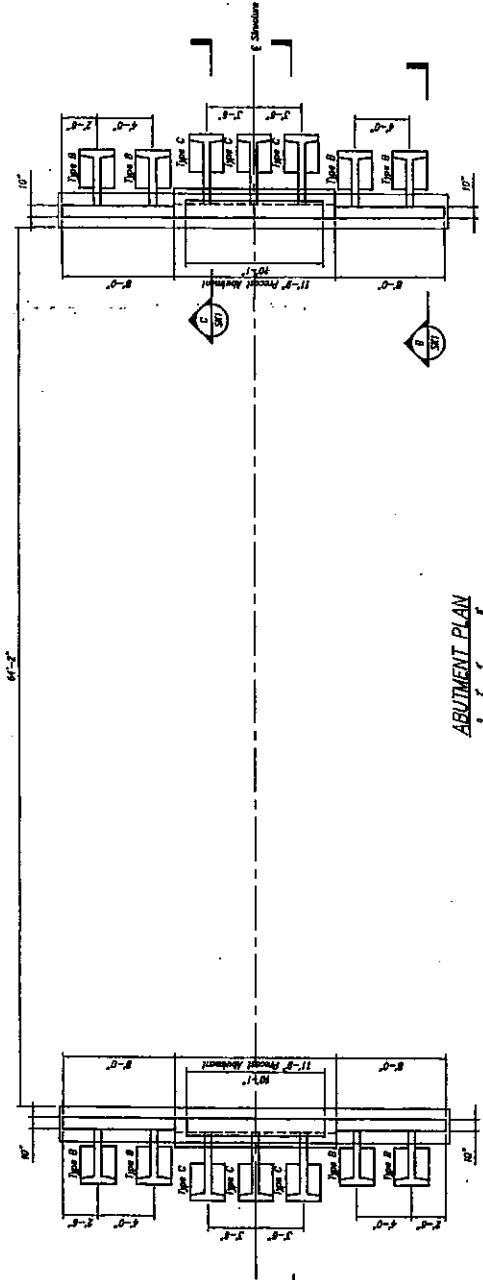
DESIGN DATA

Design Loading:
 Bridge: BSF (Reduced per Provisional Bridge Code Specifications) or 4000 LB Vehicular Load.
 Highway: Earth Pressure + Live Load Strengths
 Design: Minimum Load Factor per AASHTO Specifications
 Assumed: ultimate and bearing pressures: BSF BSF *

*Conditions, materials, and design proportions shall be as shown on the drawings. The proposed report for this project is prepared by: A.E. & T. Engineering, Inc. 5/16/87.

MATERIALS

Reinforcing steel shall be constructed and installed in accordance with CAN/CSA S100 Specifications. Concrete for footings shall have a minimum compressive strength of 4000 psi and reinforcing steel for footings shall conform to ASTM A615 or A615-Grade 60.



CONCEPTUAL: NOT FOR CONSTRUCTION

The information shown on this drawing is preliminary and is not intended to be used for construction. It is provided for informational purposes only. The user of this drawing must obtain the necessary permits and approvals from the appropriate authorities. The user of this drawing must obtain the necessary permits and approvals from the appropriate authorities. The user of this drawing must obtain the necessary permits and approvals from the appropriate authorities.

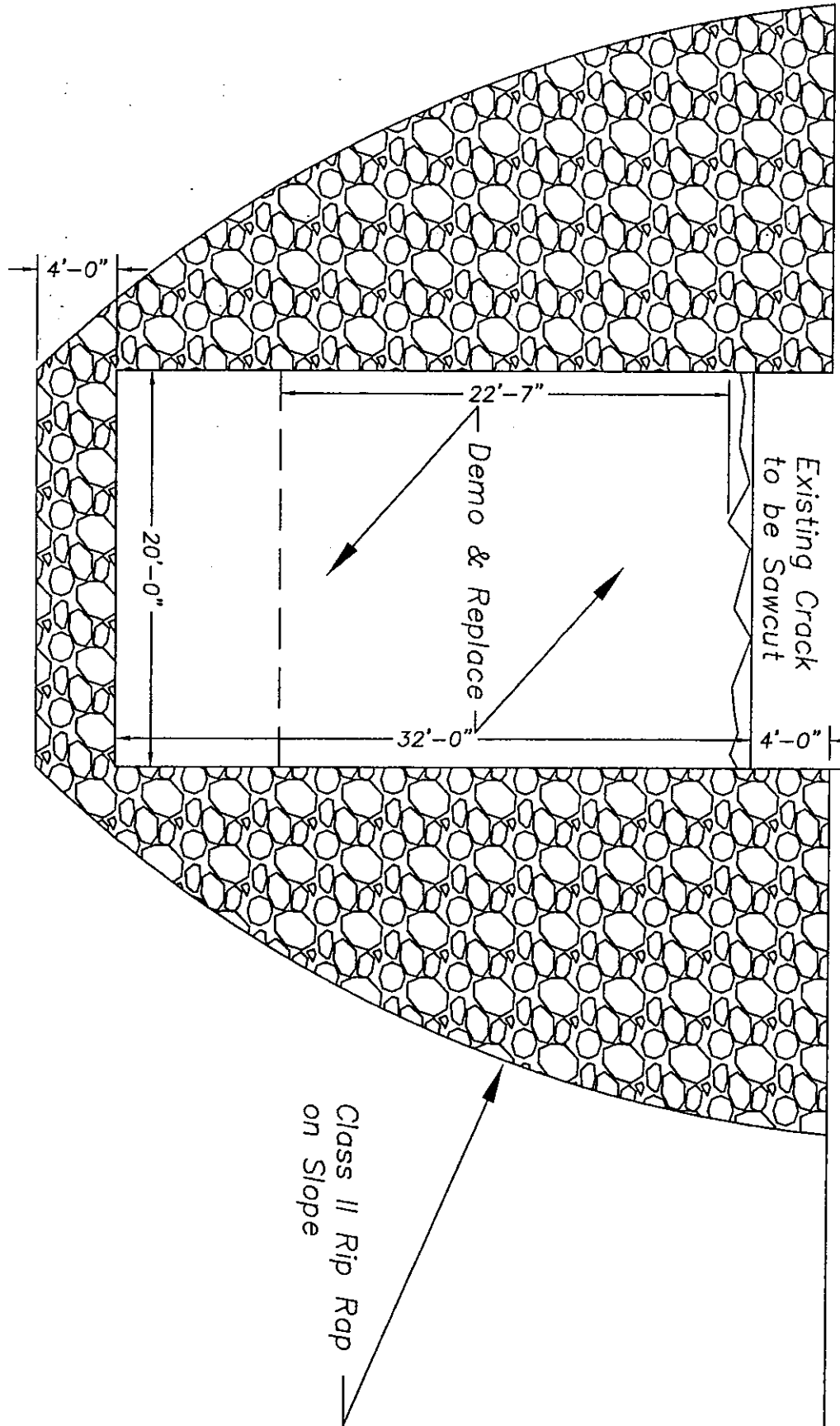
CONESTOGA
 2000 Robinson Road, P.O. Box 2000, Conestoga, Ontario, Canada
 Phone: (416) 271-1111
 Fax: (416) 271-1111
 CONESTOGA BRIDGE SYSTEMS

STONE CREEK TOWNE CENTER
 COLLEEN TOWNSHIP, ONTARIO

REVISIONS

No.	Description
1	Issue
2	Issue
3	Issue
4	Issue
5	Issue
6	Issue
7	Issue
8	Issue
9	Issue
10	Issue

APPROVED:
 Designer: [Signature]
 Checker: [Signature]
 Engineer: [Signature]



Existing Concrete Dock to Remain

Class II Rip Rap on Slope

Existing Crack to be Sawcut

Demo & Replace

REVISIONS:

DATE: 2/5/08

SCALE: 1/8" = 1'-0"

DRAWN: C.Boyd

APPROVED: T. Horrell



GROWDER
CONSTRUCTION
COMPANY

CHARLOTTE, NC
113 East 10th Street
P.O. Box 3007
704-373-3373

APPR, NC
1111 South Ave
Office: 770-277-2000
Fax: 919-277-0888

Hope Mills Dam Repair

Boat Dock Mod
Plan View

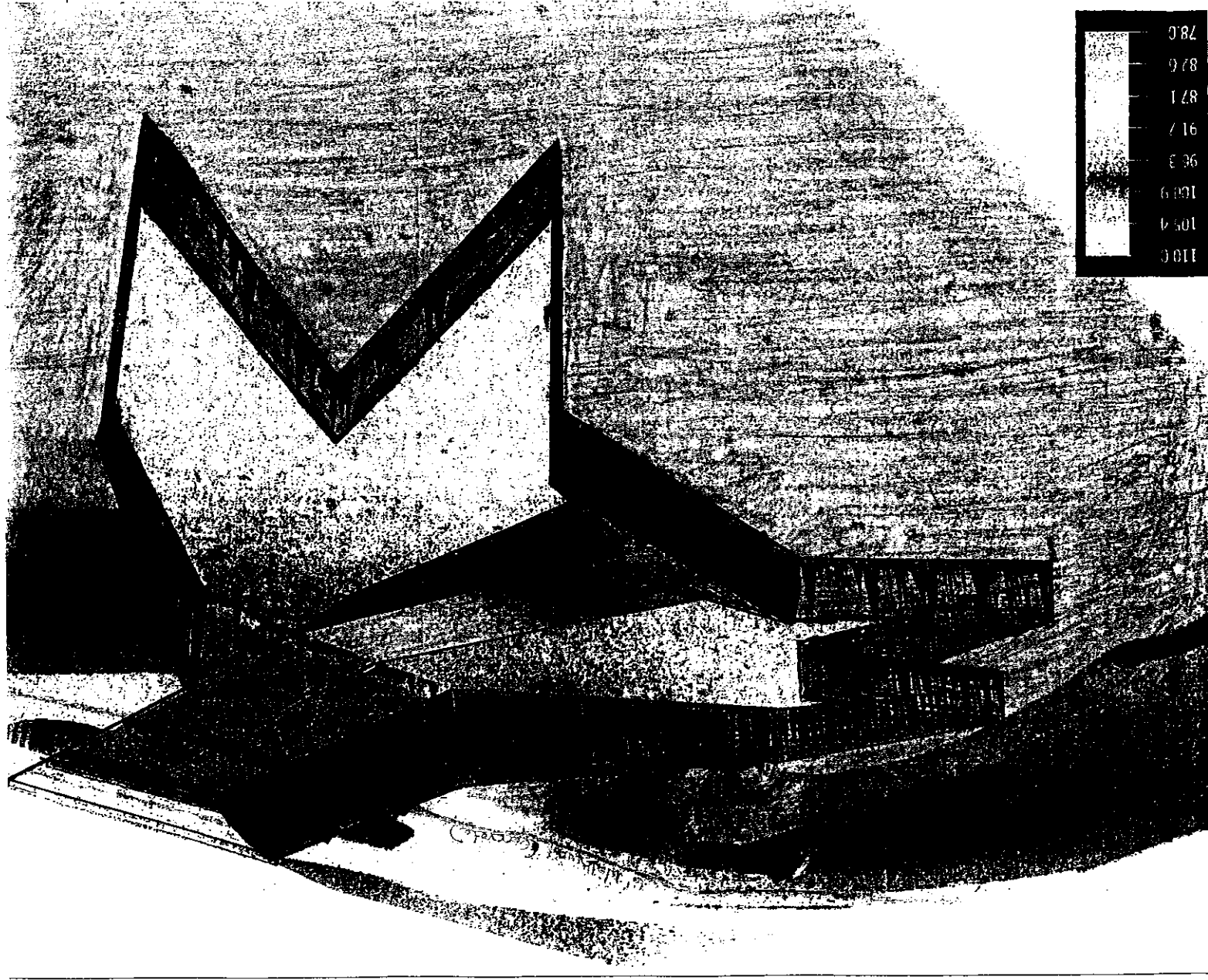
SHEET NO:

1 of 1

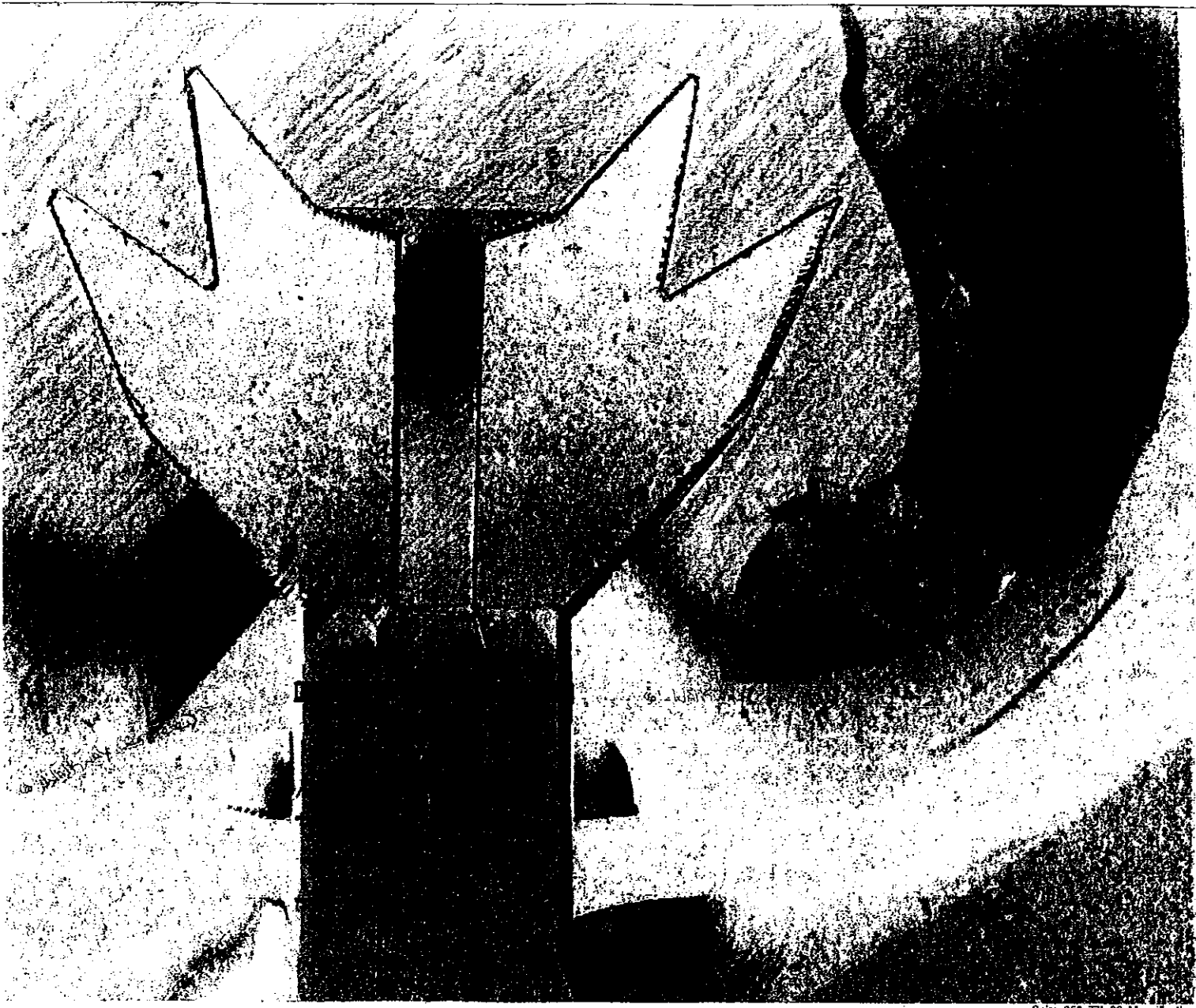
Replace
Boat
Ramp
See Drawing

2008/01/16





0.82
0.78
0.74
0.70
0.66
0.62
0.58
0.54
0.50
0.46



Spin: -358, Tilt: 90, Magnification: 1

110.0
105.4
100.9
96.3
91.7
87.1
82.5
78.0

